

RECEIVED

FEB 13, 2023 4:32 PM

FLORIDA HOUSING
FINANCE CORPORATION

**BEFORE THE STATE OF FLORIDA
FLORIDA HOUSING FINANCE CORPORATION**

THE ENCLAVE AT RIO, LP

Petitioner,

vs.

FHFC Case No. 2023-019BP

RFA 2022-203

Application No. 2023-080C

FLORIDA HOUSING FINANCE
CORPORATION,

Respondent.

**FORMAL WRITTEN PROTEST AND
PETITION FOR ADMINISTRATIVE HEARING**

Petitioner, The Enclave at Rio, LP, (“The Enclave”), pursuant to section 120.57(3), Florida Statutes (“F.S.”), and Rules 28-110 and 67-60, Florida Administrative Code (“FAC”) hereby files this Formal Written Protest and Petition for Administrative Hearing regarding the review, ranking, scoring and eligibility decisions of Respondent, FLORIDA HOUSING FINANCE CORPORATION (“Florida Housing”) in awarding funding pursuant to Request for Application 2022-203 Housing Credit Financing for Affordable Housing Developments Located in Miami-Dade County (the “RFA”). In support of this challenge The Enclave provide as follows:

1. The Enclave is a Florida limited liability company in the business of providing affordable housing. For purposes of this proceeding The Enclave is located at 1022 West 23d Street, Suite 300, Panama City, Florida 32405.

2. Florida Housing is the allocating agency for the State of Florida that was granted the authority to issue the RFA for the purpose of incentivizing construction, redevelopment, rehabilitation or preservation of much needed affordable housing. Florida Housing's address is 227 North Bronough Street, Suite 5000, Tallahassee, Florida 32301.

3. On November 14, 2022, Florida Housing issued the RFA which offered funding as follows:

SECTION ONE INTRODUCTION

This Request for Applications (RFA) is open to Applicants proposing the development of affordable, multifamily housing located in Miami-Dade County.

Under this RFA, Florida Housing Finance Corporation (the Corporation) expects to have an estimated \$6,855,330 of Housing Credits available for award to proposed Developments located in Miami-Dade County. This amount is an estimate which may be further adjusted based on the funding results of 2022 Construction Housing Inflation Response Program (CHIRP) Invitation to Participate (ITP). If adjusted, the final amount available for this RFA will be posted to the RFA Webpage. A listserv will be issued when this information is available.

The Corporation is soliciting applications from qualified Applicants that commit to provide housing in accordance with the terms and conditions of this RFA, inclusive of all Exhibits, applicable laws, rules and regulations, and the Corporation's generally applicable construction and financial standards.

4. Through the issuance of the RFA, Florida Housing sought to solicit proposals from qualified applicants that would agree to provide affordable housing consistent with the terms and conditions of the RFA, applicable laws, rules, and regulations.

5. On December 29, 2022, The Enclave submitted its Application in response to the RFA. The Enclave submitted its Application requesting \$3,150,000 in tax credits to construct a 100 unit affordable housing complex in Miami, Dade County, Florida. Florida Housing received 29 Applications in response to the RFA.

6. On January 18, 2023, the designated Review Committee, as required by the RFA, met and considered the Applications submitted in response to the RFA. The Review Committee was made up of Florida Housing staff. At the meeting the Review Committee members read into

the record individual scores for each Application and determined if each Application satisfied all threshold requirements.

7. The Review Committee also made eligibility determinations concerning each submitted Application. Based on the threshold and eligibility determinations and scores, the Review Committee, following the selection criteria of the RFA, recommended allocating funding to selected Applicants. The Review Committee recommended that The Enclave Application be deemed eligible for funding however not recommended for funding.

8. On January 27, 2023, Florida Housing's Board of Directors considered and accepted the Review Committee's ranking, scoring and eligibility determinations.

9. As an Applicant seeking funding through the RFA, The Enclave is substantially affected by Florida Housing's review, scoring, ranking and eligibility determination. The results of this proceeding affects The Enclave's ability to obtain the requested funding through the RFA and could affect the ranking of other applications.

10. Consistent with the primary mission and goal of the RFA, The Enclave seeks to construct much needed affordable housing in Miami, Dade County, Florida. Without the funds provided through the RFA, The Enclave will be unable to provide this much needed housing. Accordingly, The Enclave's substantial interests are affected by the actions taken by Florida Housing.

11. As an unsuccessful Applicant, The Enclave on February 1, 2023, timely filed a Notice of Intent to Protest. (See Attachment A) This Written Protest is being timely filed to challenge the eligibility determination made by Florida Housing.

12. In this Petition The Enclave challenges the eligibility of Coco Plum Housing Partners, LP ("Coco"), Application No. 2023-076C as failing to meet the Ability to Proceed requirements of the RFA.

13. Specifically the RFA requires that an applicant demonstrate the “Ability to Proceed” elements, as of the Application Deadline, for the entire proposed Development site. Compliance with this requirement is a mandatory eligibility item.

14. To demonstrate the Ability to Proceed with respect to Site Plan approval, Coco was required to submit an executed Local Government Verification of Status of Site Plan Approval for Multi-Family Developments (“Verification Form”),

15. To satisfy this RFA requirement Coco submitted a Form signed by Mr. Nathan Kogan. In its Verification Form Coco selected the following statement.

The above-referenced Development is (a) new construction, or (b) rehabilitation with new construction, or (c) rehabilitation, without new construction, that requires additional site plan approval or similar process.

The final site plan, in the applicable zoning designation, has been approved for the above referenced Development by action of the appropriate City/County legally authorized body; e.g. counsel, commission, board, department, division, etc., responsible for such approval process.

(emphasis added) (See Attachment B)

16. By comparison Enclave selected the second statement which provides as follows:

The above-referenced Development is (a) new construction, or (b) rehabilitation with new construction, or (c) rehabilitation, without new construction, that requires additional site plan approval or similar process, and

(i) this jurisdiction provides either preliminary site plan approval or conceptual site plan approval which has been issued, or

(ii) site plan approval is required for the new construction work and/or the rehabilitation work; however, this jurisdiction provides neither preliminary site plan approval nor conceptual site plan approval, nor is any other similar process provided prior to issuing final site plan approval. **Although there is no preliminary or conceptual site plan approval process and the final site plan approval has not yet been issued, the site plan, in the applicable zoning designation, has been reviewed.**

The necessary approval and/or review was performed on or before the signature date below by the appropriate City/County legally authorized body; e.g. council, commission, board, department, division, etc., responsible for such approval process.

(emphasis added)

17. Apparently Coco relies on a Site Plan obtained for the subject property in 2021, for a proposed multi-use development with as many as 168 residential units. The actual unit mix of the 2021 approved Site Plan was as follows:

Studio – 10 units
1B/1B -32 units
1B/1B + Den - 52
2B/2/B – 34

The approved Site Plan also contains numerous conditions including that any development must be in substantial compliance with the approved Site Plan.

(See Attachment C)

18. However Coco's proposed 130 unit Development submitted to Florida Housing in its Application differs from the approved Site Plan by proposing a Development that has the following unit mix.

1B/1B – 70
2B/2/B – 60

19. It is believed that the Verification Form submitted by Coco was signed in error because the proposed Development as suggested by the Application will be a substantial deviation from the Site Plan approved in 2021 and will likely require a new application and further Site Plan review and approval.

20. At this time it is not clear what information was provided to the local Government to obtain the signature of the Form. A review of the available electronic public records indicates only the 2021 approved Site Plan was provided with no further information of what if anything was discussed concerning the affordable housing Development proposed by the Coco Application.

21. Heritage did not meet the mandatory requisite to demonstrate its Ability to Proceed as of the Application Deadline because no approved final Site Plan exists for the proposed Development rather a new Site Plan must be approved and accordingly the second statement on the Verification Form should have been selected.

22. As a result of the foregoing, the Application filed by Coco should be deemed ineligible for funding. If the Coco Application is deemed ineligible the Enclave Application is the next eligible Application and would be selected for funding.

23. The Enclave reserves the right to amend this Petition as necessary.

24. Material Issues in Dispute

- a. Whether Florida Housing's review and actions taken concerning Coco's Application in response to the RFA was arbitrary or capricious, clearly erroneous or contrary to competition.
- b. Whether Coco has satisfied the RFA Ability to Proceed requirements.
- c. Whether Coco's Application has been appropriately reviewed, ranked, and scored.

WHEREFORE, The Enclave requests that a settlement meeting be scheduled and to the extent no settlement is reached a hearing scheduled and ultimately the entry of a Recommended and Final Order determining that Florida Housing's review and scoring of Coco's Application was contrary to the RFA specifications and to Florida Housing's governing statutes, rules and policies to such an extent as to be arbitrary, capricious, contrary to competition, and clearly erroneous and finding The Enclave's Application eligible and awarded funding.

Respectfully submitted,

CARLTON, FIELDS

/s/ Michael P. Donaldson

MICHAEL P. DONALDSON

Florida Bar No. 0802761

Post Office Drawer 190

215 S. Monroe St., Suite 500
Tallahassee, Florida 32302
Telephone: 850/224-1585
Facsimile: 850/222-0398
Email: mdonaldson@carltonfields.com

Counsel for The Enclave at Rio, LP

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that the foregoing Formal Written Protest and Petition for Administrative Hearing was filed by e-mail with Ana McGlamory, Corporation Clerk, at (CorporationClerk@floridahousing.org), and a copy via email to Hugh Brown, General Counsel, at (Hugh.brown@floridahousing.org), both with the Florida Housing Finance Corporation, 227 North Bronough Street, Suite 5000, Tallahassee, FL 32301, this 13th day of February 2023.

/s/ Michael P. Donaldson
MICHAEL P. DONALDSON

Michael Donaldson
850 513-3613 Direct Dial
mdonaldson@carltonfields.com

Atlanta
Florham Park
Hartford
Los Angeles
Miami
New York
Orlando
Tallahassee
Tampa
Washington, DC
West Palm Beach

February 1, 2023

Florida Housing Finance Corporation
Ana McGlamory, CP, FCP, FRP
Corporation Clerk
227 North Bronough Street, Suite 5000
Tallahassee, Florida 32301-1329

ELECTRONIC TRANSMISSION

Re: RFA 2022-203 – Housing Credit Financing for Affordable Housing
Development Located in Miami-Dade County

Dear Ms. McGlamory:

On behalf of The Enclave at Rio, LP (“The Enclave”) (2023-080C), this letter constitutes a Notice of Intent to Protest (“Notice”) filed pursuant to sections 120.569 and 120.57(3), Florida Statutes, Rules 28-110.003 and 67.60.009, Florida Administrative Code, and the RFA.

This Notice is being filed within 72 hours (not including weekends and holidays) of the posting of the RFA on the Florida Housing’s website on January 27, 2023 at 10:52 a.m. The Enclave reserves the right to file a formal written protest within (10) days of the filing of this Notice pursuant to section 120.57(3), Florida Statutes.

Sincerely,

Michael P. Donaldson
Michael P. Donaldson

MPD/rb

cc: Jim Boyd

**FLORIDA HOUSING FINANCE CORPORATION
LOCAL GOVERNMENT VERIFICATION OF STATUS
OF SITE PLAN APPROVAL FOR MULTIFAMILY DEVELOPMENTS**

Name of Development: Heritage at Gratigny Park

NW 120th Terrace, Southeast of the intersection of NW 120th Terrace and NW 28th Avenue,

Development Location: Miami-Dade County
As a minimum, provide the address number, street name and city and/or provide the street name, closest designated intersection and either the city (if located within a city) or county (if located in the unincorporated area of the county).

Mark the applicable statement:

1. The above-referenced Development is (a) new construction, or (b) rehabilitation with new construction, or (c) rehabilitation, without new construction, that requires additional site plan approval or similar process. The final site plan, in the applicable zoning designation, has been approved for the above referenced Development by action of the appropriate City/County legally authorized body; e.g. council, commission, board, department, division, etc., responsible for such approval process.

2. The above-referenced Development is (a) new construction, or (b) rehabilitation with new construction, or (c) rehabilitation, without new construction, that requires additional site plan approval or similar process, and (i) this jurisdiction provides either preliminary site plan approval or conceptual site plan approval which has been issued, or

(ii) site plan approval is required for the new construction work and/or the rehabilitation work; however, this jurisdiction provides neither preliminary site plan approval nor conceptual site plan approval, nor is any other similar process provided prior to issuing final site plan approval. Although there is no preliminary or conceptual site plan approval process and the final site plan approval has not yet been issued, the site plan, in the applicable zoning designation, has been reviewed.

The necessary approval and/or review was performed on or before the signature date below by the appropriate City/County legally authorized body; e.g. council, commission, board, department, division, etc., responsible for such approval process.

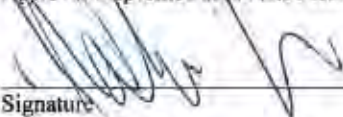
3. The above-referenced Development, in the applicable zoning designation, is rehabilitation without any new construction and does not require additional site plan approval or similar process.

CERTIFICATION

I certify that the City/County of Miami-Dade has vested in me the authority to verify status of site plan approval as specified above and I further certify that the information stated above is true and correct.

(Name of City or County)

Approval as specified above and I further certify that the information stated above is true and correct.

Signature: 

Nathan Kogon

Print or Type Name

Assistant Director

12-14-22

Print or Type Title

Date Signed

This certification must be signed by the applicable City's or County's Director of Planning and Zoning, chief appointed official (staff) responsible for determination of issues related to site plan approval, City Manager, or County Manager/Administrator/Coordinator. Signatures from local elected officials are not acceptable, nor are other signatories. If this certification is applicable to this Development and it is inappropriately signed, the certification will not be accepted. If there are alterations made to this form that change the meaning of the form, the form will not be accepted.



October 6, 2021

Gabriel Boano
Gratigny 27 PL LLC
1111 Kane Concourse, Suite 517
Bay Harbor Islands, Florida 33154

Re: Administrative Site Plan Review of ASPR No. A2021000029

Name and Date of Plan:

Plans entitled "Mixed Use Bldg" as prepared by Caymares Martin, consisting of twenty-one (21) sheets dated stamped received September 30, 2021

Section-Township-Range: 28-52-41

Legal Description:

Tracts 466 and 467 of "EIGHTH ADDITION TO SEABOARD INDUSTRIAL PARK," according to the plat thereof, as recorded in Plat Book 142 Page 57, of the Public Records of Miami-Dade County, Florida

Dear Mr. Boano:

The staff of the Department of Regulatory and Economic Resources has reviewed and approved your request for site plan approval consisting of **a proposed mixed-use development consisting of 168 apartment units and 1,680 sq. ft. of commercial space**, subject to the following conditions:

1. That a site plan be submitted to and meet with the approval of the Director upon the submittal of an application for a building permit and/or Certificate of Use; said plan to include, but not be limited to: the location of structure or structures, types, sizes, location of signs, light standards, off-street parking areas, exits and entrances, drainage, walls, fences, landscaping, etc.

APPROVAL LETTER

ATTACHMENT C

2. That in the approval of the plan, the same being substantially in accordance with that submitted for ASPR review entitled "Mixed Use Bldg" as prepared by Caymares Martin, consisting of twenty-one (21) sheets dated stamped received September 30, 2021.
3. That the applicant submit to the Department for its review and approval a landscaping plan which indicates the type and size of plant material prior to the issuance of a building permit and to be installed prior to the issuance of a Certificate of Use.
4. That screening of backflow preventers, check valves, and the like as required by Section 32-157(d) of the Code of Miami-Dade County be installed prior to the issuance of a Certificate of Use.
5. That the use be established and maintained in accordance with the approved plan subject to the conditions referenced in this letter.
6. That the applicant obtain a Certificate of Use from the Department, upon compliance with all terms and conditions, the same subject to cancellation upon violation of any of the conditions.
7. That the applicant comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM).
8. That the applicant comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources – Land Development – Traffic Concurrency/Platting Section.
9. That the applicant comply with all applicable conditions and requirements of the Miami-Dade County Water and Sewer Department.
10. That the applicant comply with all applicable conditions and requirements of the Miami-Dade County Department of Transportation and Public Works Traffic Engineering Division.
11. That the applicant comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.
12. That the applicant shall proffer a Declaration of Restrictions/Agreement to the Department of Regulatory and Economic Resources indicating that a minimum of twelve and one-half (12.5) percent of the proposed 168 residential units (21 units) be set aside for Workforce Housing as defined in Section 33-284.83(A)(3) of the Code of Miami-Dade County.
13. That in the event of multiple ownership, a homeowner's association, Special Taxing

District or Community Development District shall be established in accordance with applicable regulations to assure that all common areas and facilities for use of all residents shall be maintained in a continuous and satisfactory manner, and without expense to the general taxpayer of Miami-Dade County. The instrument incorporating such provisions shall be approved by the County Attorney as to form and legal sufficiency and shall be recorded in the public records of Miami-Dade County.

This letter serves as formal notification that the Miami-Dade County Department of Regulatory and Economic Resources recommends that the applicant proceed with the permitting process so long as development remains in substantial compliance with said plans. Substantial deviation from approved plans will require review by the Department.

This item has been reviewed and approved for consistency with the standards of Ordinance No. 89-66, adopted on July 11, 1989, which established Miami-Dade County's Concurrency Management Program.

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

Sincerely,

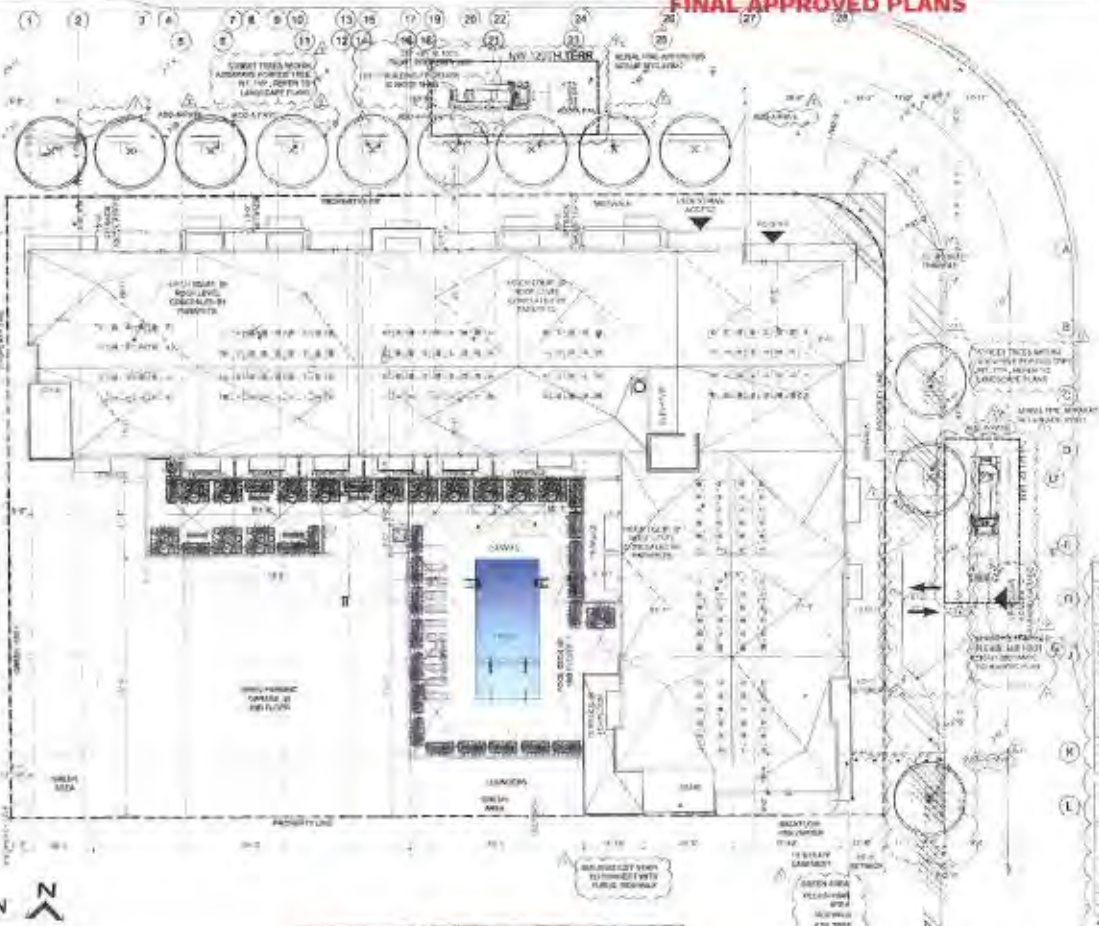


Nathan Kogon, AICP
Assistant Director
Development Services Division
Department of Regulatory and Economic Resources

c: James Byers, Chief, Permitting Division
Raul Pino, Chief, Land Development - Traffic Concurrency/Platting Section
Ronald Connally, Supervisor, Zoning Hearing Section

RECEIVED
 MIAMI-DADE COUNTY
 PROJECT NO. 2014-008
 DATE: 06/10/2015
 BY: [Signature]

FINAL APPROVED PLANS



ZONING ANALYSIS

PROPERTY DATA	APPLICABLE ZONING
PROPERTY TO BE ZONED	INDUSTRIAL PARK (IP-1)
LOCAL ZONING	IP-1
APPLICABLE ZONING	IP-1
MINIMUM LOT AREA	10,000 SQ. FT.
MINIMUM LOT WIDTH	100 FT.
MINIMUM FRONT YARD SETBACK	10 FT.
MINIMUM SIDE YARD SETBACK	5 FT.
MINIMUM REAR YARD SETBACK	5 FT.
MINIMUM BUILDING HEIGHT	35 FT.
MINIMUM FLOOR AREA	10,000 SQ. FT.
MINIMUM LOT COVERAGE	10%

PERMITTED AND PROPOSED

PERMITTED	PROPOSED
MAX. BLDG. HGT.	35 FT. (MAX. 11' 0" AT CORNERS)
MIN. FRONT SETBACK	10 FT. (MIN. 5' AT CORNERS)
MIN. SIDE SETBACK	5 FT. (MIN. 2' AT CORNERS)
MIN. REAR SETBACK	5 FT. (MIN. 2' AT CORNERS)
MIN. LOT COVERAGE	10%
MIN. LOT AREA	10,000 SQ. FT.
MIN. FLOOR AREA	10,000 SQ. FT.
MIN. LOT WIDTH	100 FT.
MIN. FRONT YARD SETBACK	10 FT.
MIN. SIDE YARD SETBACK	5 FT.
MIN. REAR YARD SETBACK	5 FT.
MIN. BUILDING HEIGHT	35 FT.
MIN. FLOOR AREA	10,000 SQ. FT.
MIN. LOT COVERAGE	10%

PARKING CALCULATION

TYPE OF PARKING	NUMBER OF SPACES	REQUIREMENTS
MINIMUM REQUIRED	100	100 REQUIRED
PROPOSED	100	100 PROVIDED
TOTAL	100	100 PROVIDED

PARKING BREAKDOWN

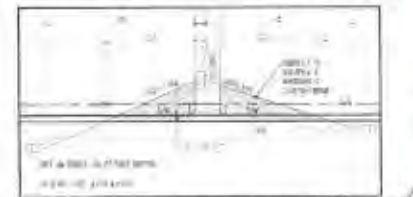
FLOOR	REGULAR	IC	VE	TOTAL
GROUND FLOOR	100	0	0	100
TOTAL	100	0	0	100

AREA TABLE

AREA	LENGTH	WIDTH	AREA	PERCENT
GROUND FLOOR	100.00'	100.00'	10,000.00	100.00%
1ST FLOOR	100.00'	100.00'	10,000.00	100.00%
2ND FLOOR	100.00'	100.00'	10,000.00	100.00%
3RD FLOOR	100.00'	100.00'	10,000.00	100.00%
4TH FLOOR	100.00'	100.00'	10,000.00	100.00%
5TH FLOOR	100.00'	100.00'	10,000.00	100.00%
6TH FLOOR	100.00'	100.00'	10,000.00	100.00%
7TH FLOOR	100.00'	100.00'	10,000.00	100.00%
8TH FLOOR	100.00'	100.00'	10,000.00	100.00%
TOTAL	100.00'	100.00'	100,000.00	100.00%

SITE PLAN

LEGAL DESCRIPTION:
 Tracts 466 and 467 of Tenth Addition to Seaboard Industrial Park, according to the Plat thereof as recorded in Plat Book 142, Page 57, of the Public Records of Miami-Dade County, Florida.



FDOT SIGHT DISTANCE SCHEMATIC PLAN



LOCATION MAP

NOTE:
 DRAINAGE PICKUP WILL BE COORDINATED BETWEEN PICKUP COMPANY AND CONTRACTOR TO BE PERFORMED DURING OFF PEAK HOURS ONLY.

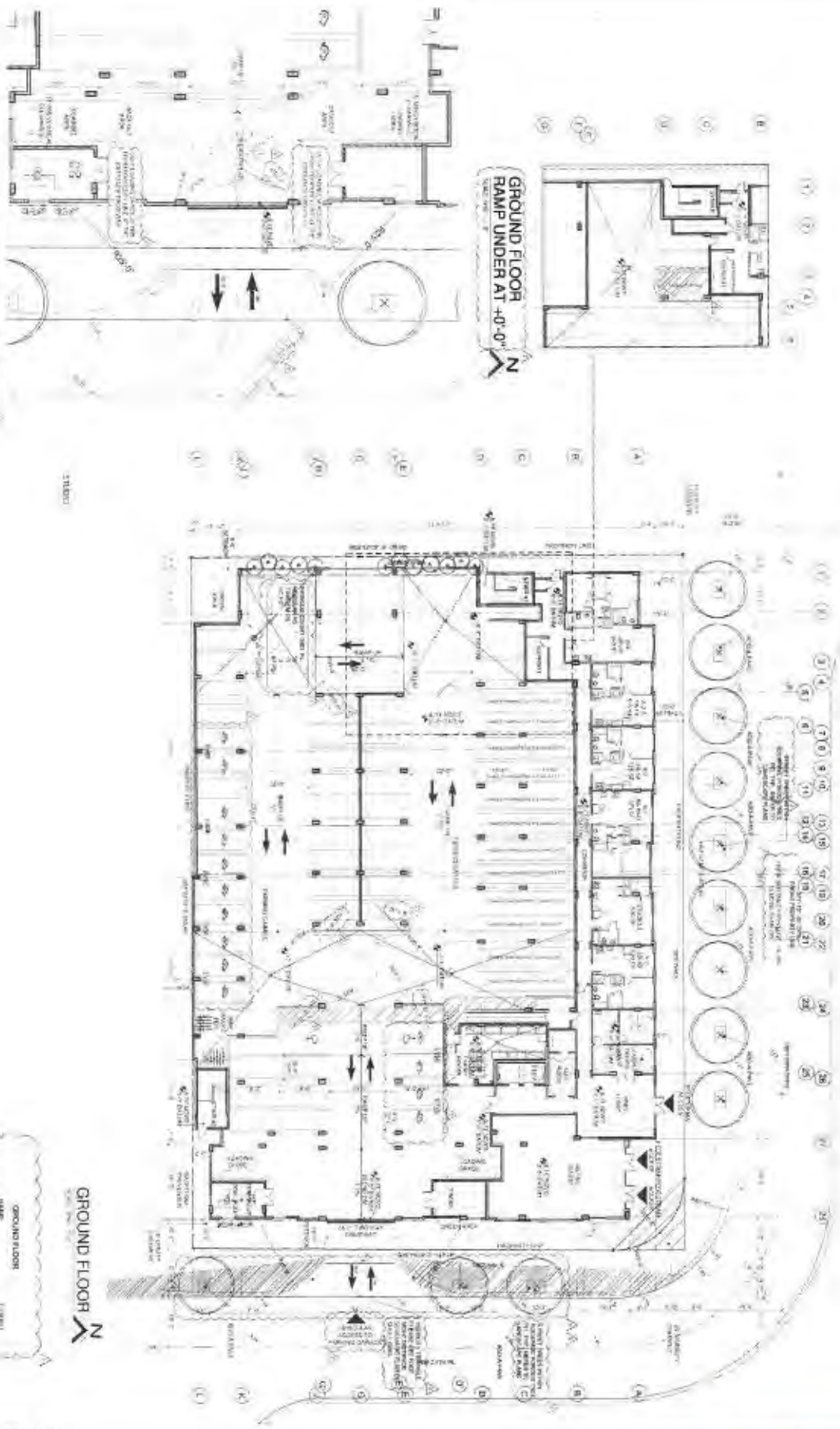


ART+TEC DEVELOPMENT

MIXED USE BLDG
 SW PORTION OF NW 120 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL



A-1.0



TRUCK RAMP UNDER AT +0'-0"

GROUND FLOOR RAMP UNDER AT +0'-0"

GROUND FLOOR



SITE PLAN APPROVAL

CAD FILED
 2017.07.20 10:00 AM
 2017.07.20 10:00 AM

A-2.0

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	07/20/17
2	ISSUED FOR PERMIT	07/20/17
3	ISSUED FOR PERMIT	07/20/17
4	ISSUED FOR PERMIT	07/20/17
5	ISSUED FOR PERMIT	07/20/17

MIXED USE BLDG

SW PORTION OF NW 120 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL

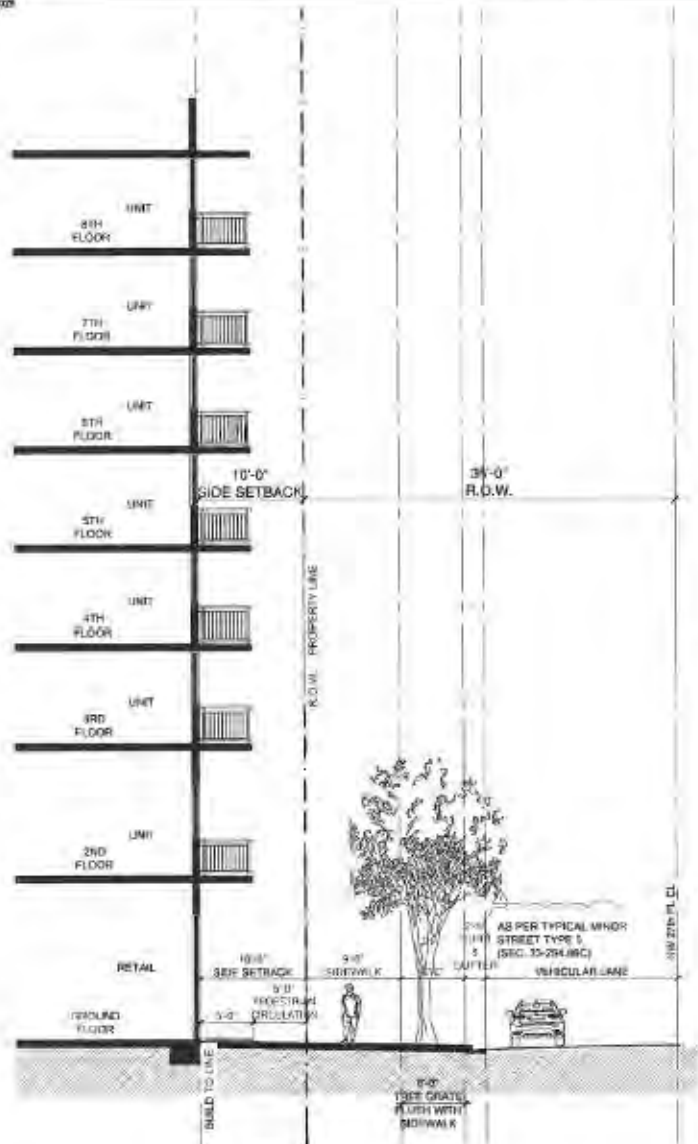
ART+TEC
 DEVELOPMENT

COMMERCIAL
 DEVELOPMENT

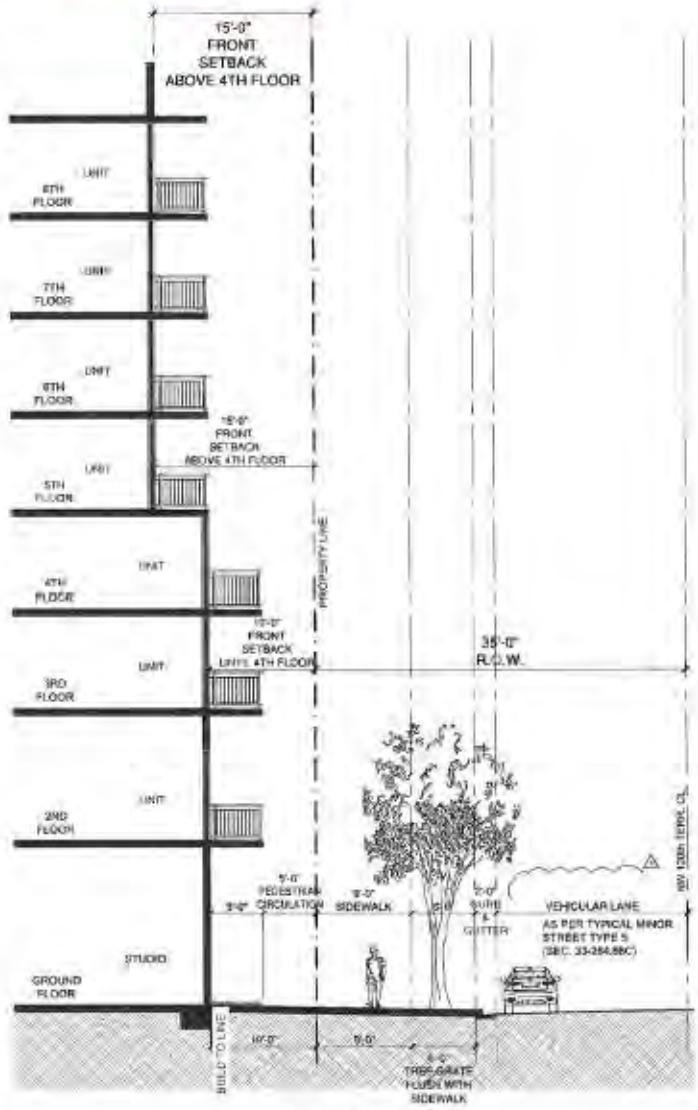
RECEIVED

PROJECT NO. A11-028
DATE: 10/30/2011
BY: LHM

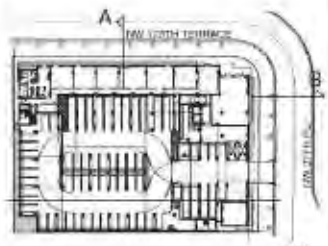
FINAL APPROVED PLANE



SECTION B
SCALE 1/8" = 1'-0"



SECTION A
SCALE 1/8" = 1'-0"



KEY MAP
N



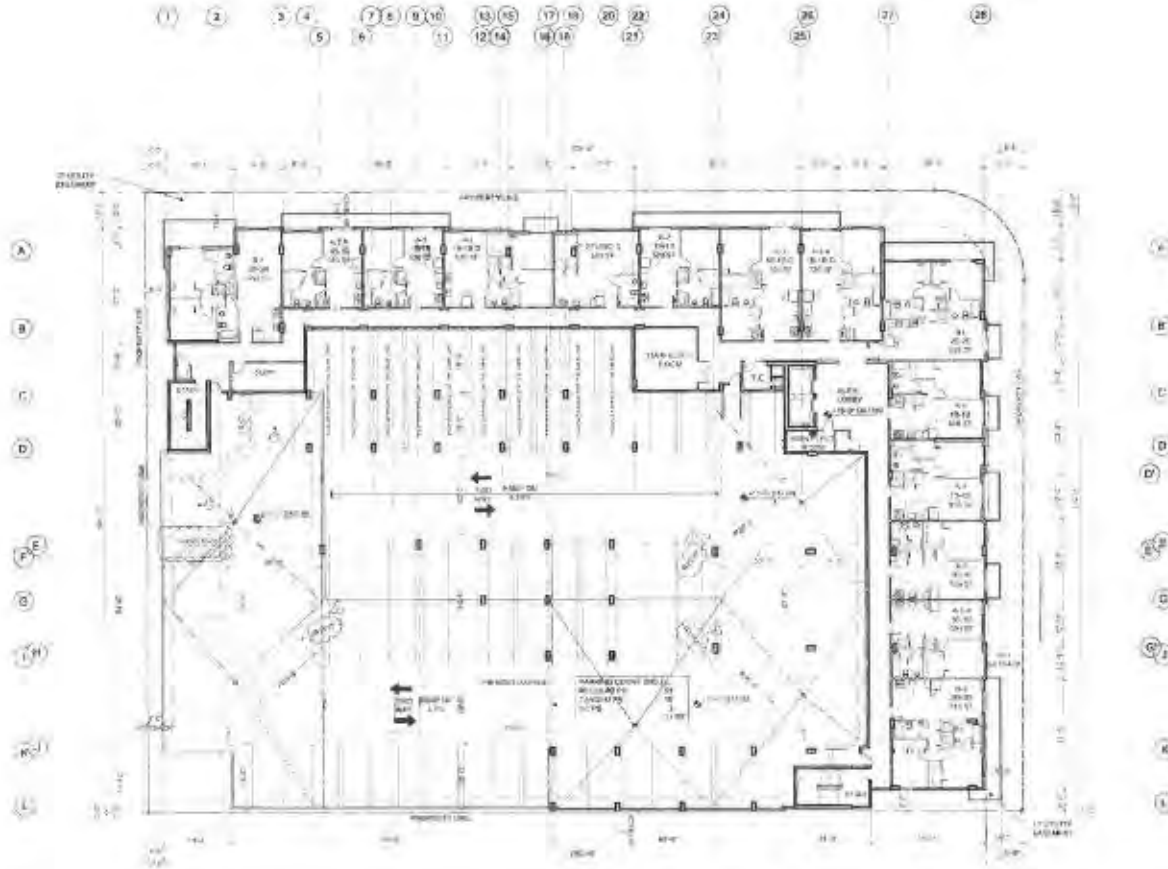
MIXED USE BLDG
SW PORTION OF NW 120 TH TERRACE AND
NW 27 TH PLACE INTERSECTION, MIAMI FL.



A-2.1

RECEIVED
 MIAMI-DADE COUNTY
 PLANNING DEPARTMENT
 DATE: SEP 26 2021
 BY: UHSL

FINAL APPROVED PLANS



SECOND FLOOR

SCALE: 1/8" = 1'-0"

SECOND FLOOR

Room	Count
41.00M	1/4 UNIT
1.1 + D UNIT	2.2 UNIT
2.2 UNIT	2.2 UNIT
TOTAL	



ART+TEC
 DEVELOPMENT

MIXED USE BLDG
 SW PORTION OF NW 120 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL

PROJECT NO.	120-27
DATE	09/26/21
SCALE	AS SHOWN
BY	ART+TEC
CHECKED BY	ART+TEC

DATE	09/26/21
BY	ART+TEC
CHECKED BY	ART+TEC



SITE PLAN APPROVAL

A-3.0

RECEIVED
PROJECT NO. 2021-028
BY: LHM/ 01/20/21

FINAL APPROVED PLANS



DATE OF REVISION: 01/20/21

SITE PLAN APPROVAL

A-4.0



NO. OF SHEETS	1
SHEET NO.	1
DATE	01/20/21
PROJECT NO.	2021-028
PROJECT NAME	MIXED USE BLDG
CLIENT	
DESIGNER	
DATE	

APPROVED FOR CONSTRUCTION

MIXED USE BLDG

SW PORTION OF NW 120 TH TERRACE AND
NW 27 TH PLACE INTERSECTION, MIAMI FL



RECEIVED
PLANNING DEPARTMENT
PERMITS AND APPROVALS
DATE SEP 30 2021
BY LINDA

FINAL APPROVED PLANS



THIRD FLOOR

UNIT	Count
1+1 UNIT	1
1+1 + D UNIT	1
2+2 UNIT	7
STUDIO	13
TOTAL	22



ART+TEC
DEVELOPMENT

MIXED USE BLDG
SW PORTION OF NW 120 TH TERRACE AND
NW 27 TH PLACE INTERSECTION, MIAMI FL

APPROVED FOR THE CITY OF MIAMI
DATE: 09/30/2021

DATE: 09/30/2021
BY: [Signature]

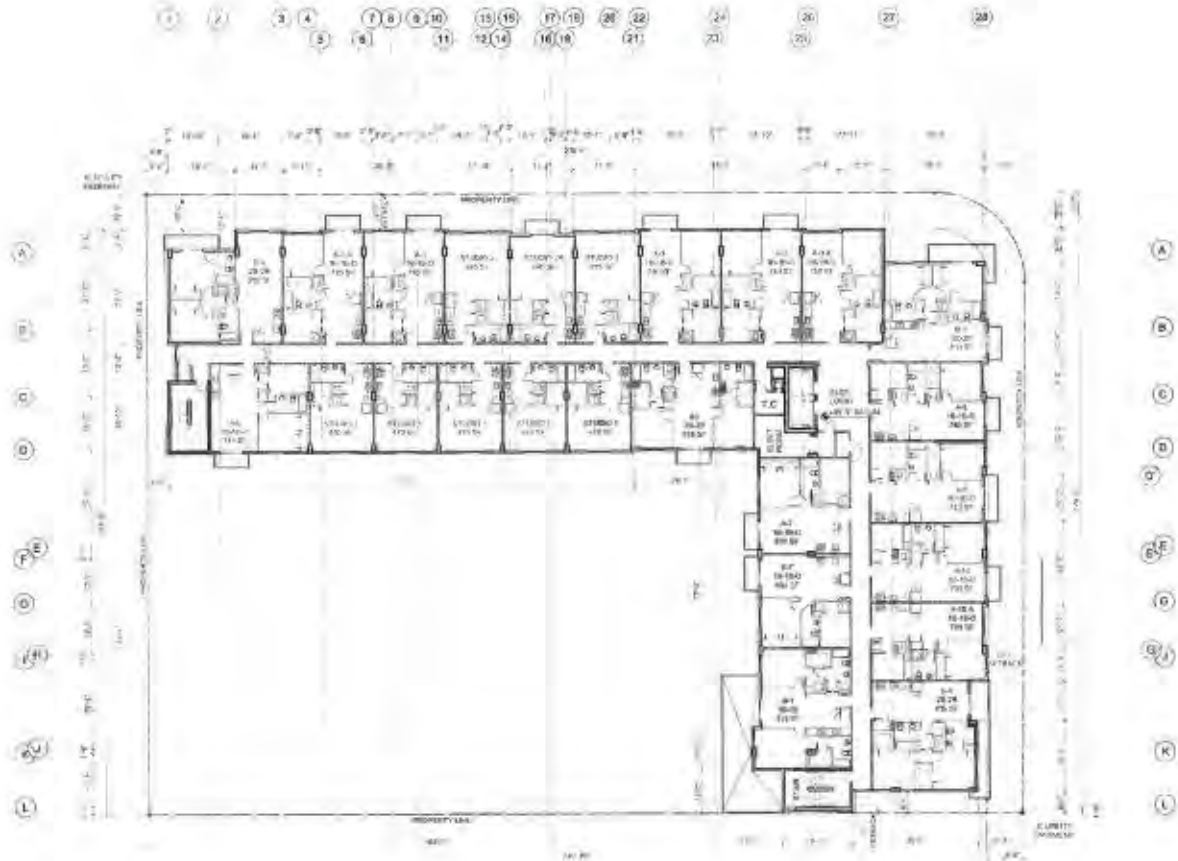


SITE PLAN APPROVAL

A-5.0

RECEIVED
 MIAMI-DADE COUNTY
 PROJECT NO. A21-022
 DATE: SEP 30 2021
 BY: LNH

FINAL APPROVED PLANS



4TH FLOOR
 10000 SQ. FT.

4TH FLOOR		
Units	Count	Total
1-1 UNIT	12	
2-1 UNIT	5	
1-1 UNIT	5	
TOTAL	22	



ART+TEC
 DEVELOPMENT

MIXED USE BLDG

SW PORTION OF NW 120 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL

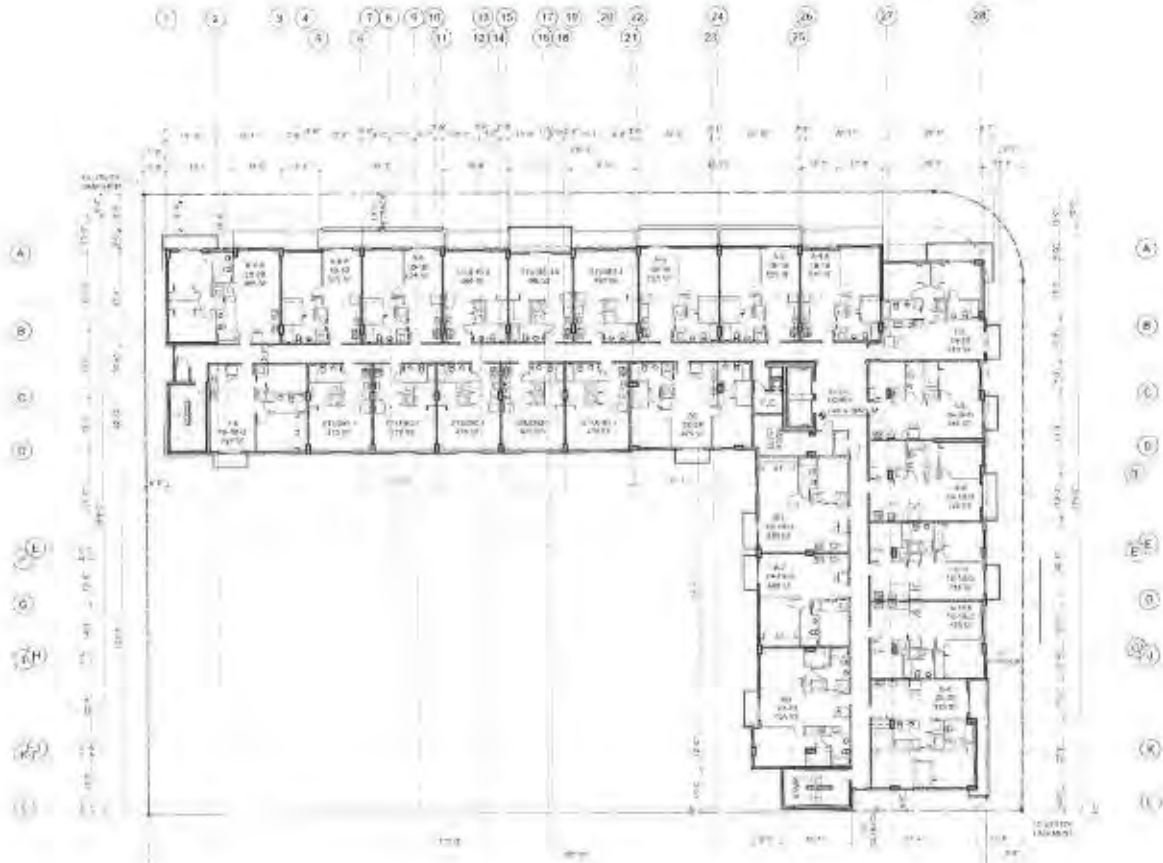
DATE	
BY	
CHECKED	
DATE	



A-6.0

RECEIVED
 CITY OF MIAMI
 RECEIVED MAY 02 10:51
 DATE MAY 30 2021
 BY 1304

FINAL APPROVED PLANS



5TH FLOOR



5TH FLOOR	
Area	Count
1-1 UNIT	5
1-1 + 0 UNIT	1
2-2 UNIT	1
STUDIO	2
TOTAL	9



ART+TEC
 DEVELOPMENT

MIXED USE BLDG
 SW PORTION OF NW 120 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL

Project Name	
Address	
City	
County	
Zip	

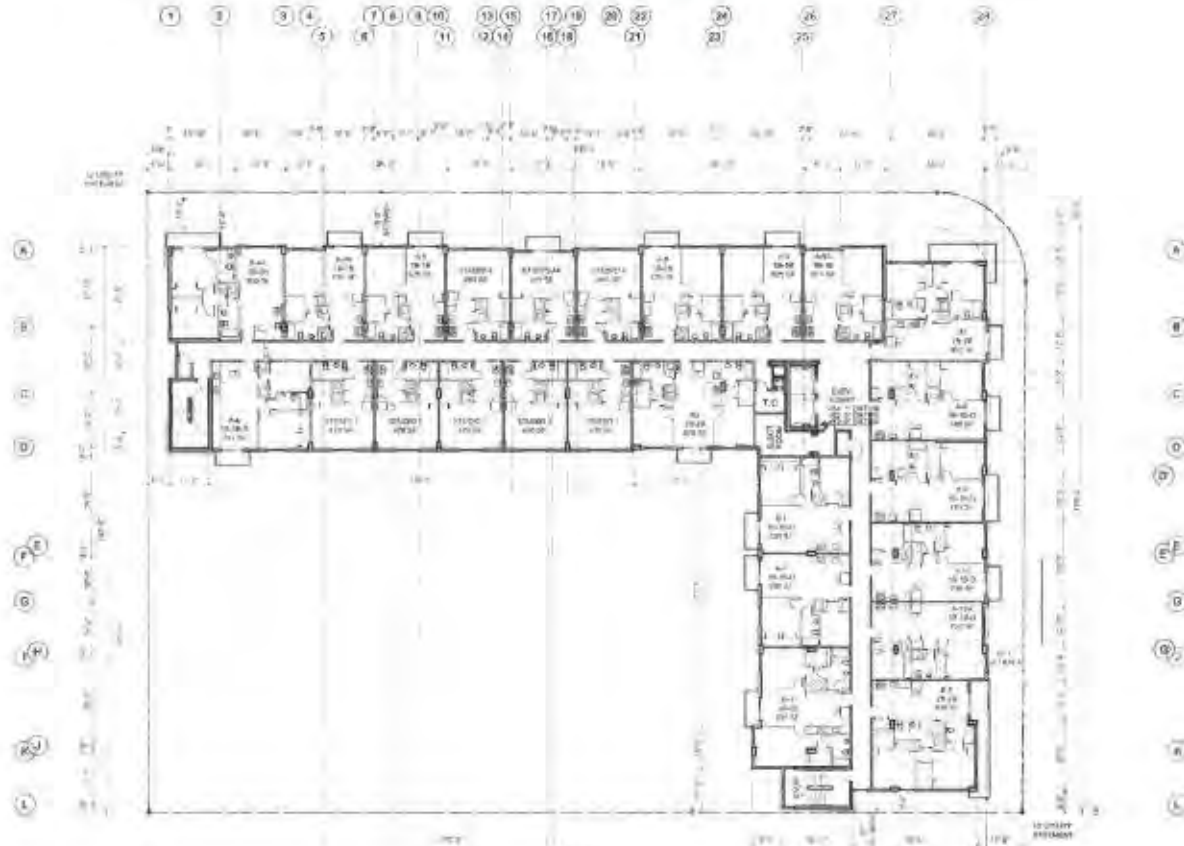
Prepared By	
Checked By	
Approved By	
Date	



A-7.0

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 MIAMI-DADE COUNTY
 PROCESS NO. A-7.1-009
 DATE: SEP 30 2021
 BY: LMM

FINAL APPROVED PLANS



6TH TO 8TH FLOOR

6TH-8TH FLOOR	
Area	Count
1 UNIT	
1 1/2 UNIT	
2 UNIT	
STUDIO	
TOTAL	



ART+TEC
 DEVELOPMENT

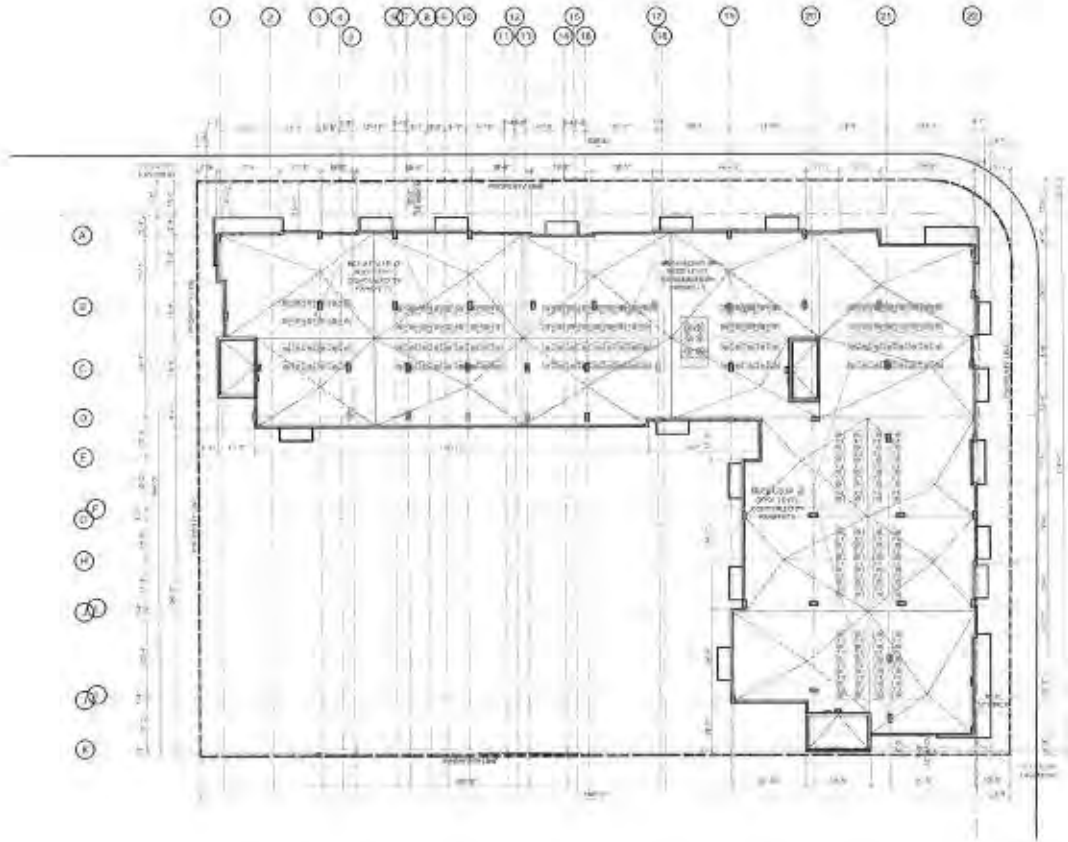
MIXED USE BLDG
 SW PORTION OF NW 150 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL



A-7.1

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MIAMI-DADE COUNTY
PROCESS NO. A21-028
DATE: SEP 30 2021
BY: LKML

FINAL APPROVED PLANS



ROOF PLAN



MIXED USE BLDG
SW PORTION OF NW 120 TH TERRACE AND
NW 27 TH PLACE INTERSECTION, MIAMI, FL



SITE PLAN APPROVAL

A-8.0

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 MIAMI-DADE COUNTY
 PERMITS NO. A21-008
 DATE: SEP 20 2021
 BY: [unclear]

FINAL APPROVED PLANS



KEY VALUE	MATERIAL LEGEND
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY - CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCODAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT), 70% UR PAINT TO BE SELECTED BY ARCHITECT
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY - W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS.
03	ALUMINUM WINDOW ASSEMBLY - W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY - LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	ALUMINUM VERTICAL POSTS/RAILING
07	CONCRETE FILLERWORK
08	MOTORIZED OVERHEAD COILING DOOR TO MEET WIND LOAD REQUIREMENTS
09	CUSTOM-MADE PERFORATED SHEET METAL PANELS, TO MEET WIND LOAD REQUIREMENTS.

HEAT ISLAND EFFECT SOLAR REFLECTANCE REQUIREMENTS:
 ROOFING MATERIALS AND ALL ROOF EXTERIOR SURFACES AND BUILDING MATERIALS SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS PER SECTION 3.13.2.4 AND 3.13.2.4 WHEN TESTED IN ACCORDANCE WITH ASTM E933 OR ASTM E1918 AS PER MIAMI 21 ARTICLE 3 SECTION 3.13.2 HEAT ISLAND EFFECT.

SUSTAINABILITY REQUIREMENTS:
 BUILDING SHALL COMPLY WITH SUSTAINABILITY REQUIREMENTS AS PER MIAMI 21 SECTION 3.13.1

EAST ELEVATION
 PRINCIPAL FRONTAGE
 SCALE: 1/8" = 1'-0"



ART+TEC
 DEVELOPMENT

MIXED USE BLDG
 SW PORTION OF NW 120 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL

CARMEN T
 DIAZ
 ARCHITECTS, P.A.
 10000 SW 120th Ave, Suite 100
 Miami, FL 33186
 305.444.1111
 99-34

A-9.0

RECEIVED

MIAMI-DADE COUNTY
PROJECT NO. 201-009
DATE: 04/18/2021
BY: LMM

FINAL APPROVED PLANS



MIXED USE BLDG
SW PORTION OF NW 120 TH TERRACE AND
NW 27 TH PLACE INTERSECTION, MIAMI FL



KEY VALUE	MATERIAL LEGEND KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR/PAIN TO BE SPECIFIED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY - W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS.
03	ALUMINUM WINDOW ASSEMBLY - W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY - LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINE(S) / FACADE WALLS
06	ALUMINUM VERTICAL POSTS RAILING
07	CONCRETE OVERROW
08	MOTORIZED OVERHEAD CANOPY DOOR TO MEET WIND LOAD REQUIREMENTS.
09	CUSTOM-MADE PERFORATED SHEET METAL PANELS, TO MEET WIND LOAD REQUIREMENTS.

HEAT ISLAND EFFECT SOLAR REFLECTANCE REQUIREMENTS:
ROOFING MATERIALS AND ALL ROOF EXTERIOR SURFACES AND BUILDING MATERIALS SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS PER SECTION 3.13.2.f. AND 3.13.2.g WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918 AS PER MIAMI 21 ARTICLE 3 SECTION 3.13.2 HEAT ISLAND EFFECT.

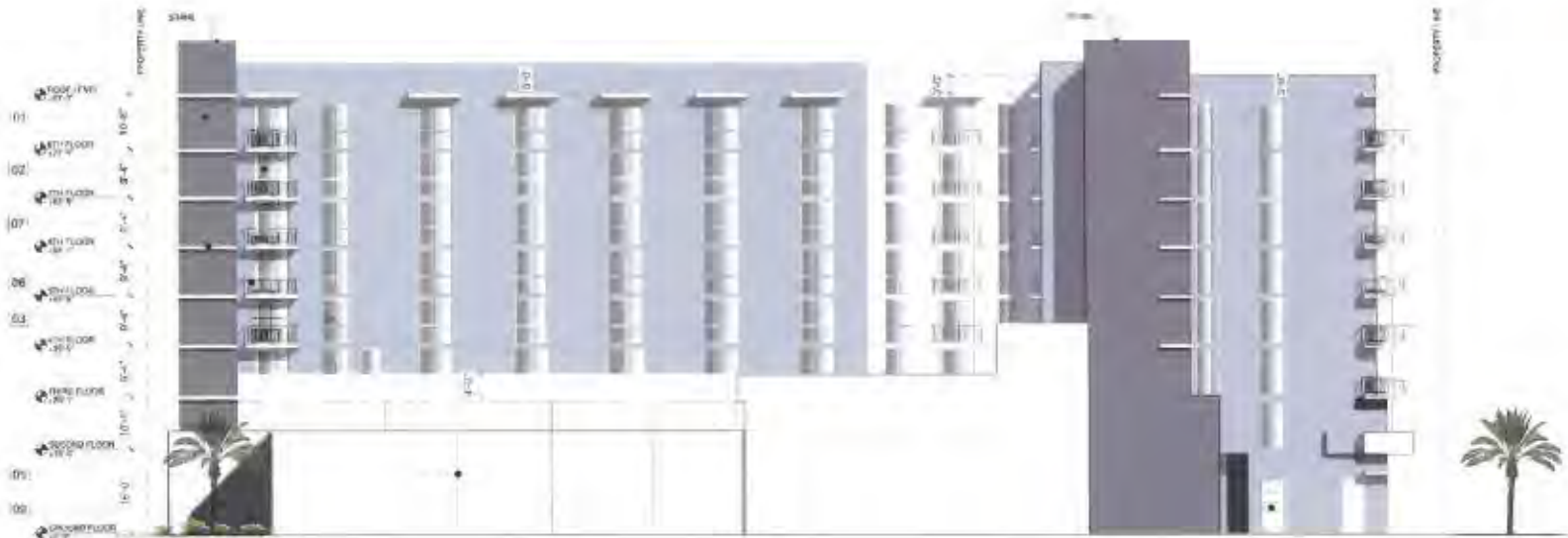
SUSTAINABILITY REQUIREMENTS:
BUILDING SHALL COMPLY WITH SUSTAINABILITY REQUIREMENTS AS PER MIAMI 21 SECTION 3.13.1.

NORTH ELEVATION
PRINCIPAL FRONTAGE



RECEIVED
 MIAMI DADE COUNTY
 PROCESS NO. A21-429
 DATE SEP 23 2021
 BY JLN

FINAL APPROVED PLANS



KEY VALUE	MATERIAL LEGEND
KEY VALUE	KEYNOTE DESCRIPTION
01	MASSURY: CMU/CONCRETE SUBSTRATE W/SHOOD H STUCCO FINISH, HIGH BULD. ACRYLIC WATERPROOFING COATING (TROROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY - W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY - W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW
04	ALUMINUM STOREFRONT ASSEMBLY - LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	ALUMINUM VERTICAL POSTS RAILING
07	CONCRETE EYEBROW
08	MOTORIZED OVERHEAD LOADING DOOR TO MEET WIND LOAD REQUIREMENTS
09	CUSTOMMADE PERFORATED SHEET METAL PANELS, TO MEET WIND LOAD REQUIREMENTS.

HEAT ISLAND EFFECT SOLAR REFLECTANCE REQUIREMENTS:
 ROOFING MATERIALS AND ALL ROOF EXTERIOR SURFACES AND BUILDING MATERIALS SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS PER SECTION 3.13.2.c AND 3.13.2.d WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1916 AS PER MIAMI 21 ARTICLE 3 SECTION 3.13.2 HEAT ISLAND EFFECT

SUSTAINABILITY REQUIREMENTS
 BUILDING SHALL COMPLY WITH SUSTAINABILITY REQUIREMENTS AS PER MIAMI 21 SECTION 3.13.1

SOUTH ELEVATION
 SECONDARY FRONTAGE



ART+TEC
 DEVELOPMENT

MIXED USE BLDG
 SW PORTION OF NW 120 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL

DATE	DESCRIPTION

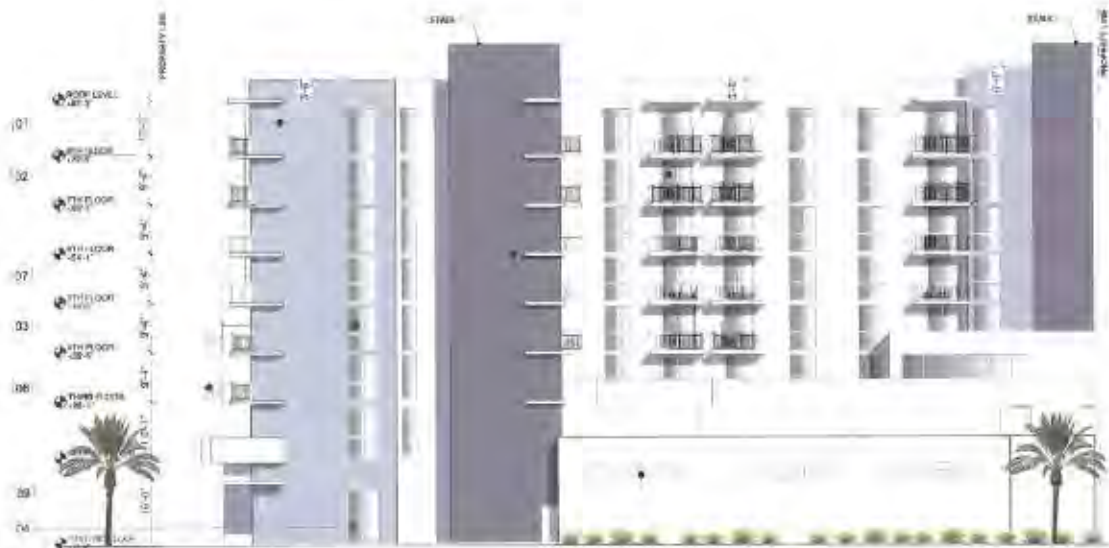
DATE	DESCRIPTION



A-9.2

RECEIVED
 MIAMI-DADE COUNTY
 PROCESS NO. A21-229
 DATE: SEP 30 2021
 BY: J.M.K.

FINAL APPROVED PLANS



MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT), COLOR PAINT TO BE SELECTED BY ARCHITECT
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY - W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY - W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY - LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	ALUMINUM VERTICAL POSTS RAILING
07	CONCRETE EYEBROW
08	MOTORIZED OVERHEAD DOOR TO MEET WIND LOAD REQUIREMENTS
09	CUSTOM-MADE PERFORATED SHEET METAL PANELS TO MEET WIND LOAD REQUIREMENTS.

HEAT ISLAND EFFECT SOLAR REFLECTANCE REQUIREMENTS:
 ROOFING MATERIALS AND ALL ROOF EXTERIOR SURFACES AND BUILDING MATERIALS SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS PER SECTION 3.13.2.c AND 3.13.2.d WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918 AS PER MIAMI 21 ARTICLE 3 SECTION 3.13.2 HEAT ISLAND EFFECT

SUSTAINABILITY REQUIREMENTS:
 BUILDING SHALL COMPLY WITH SUSTAINABILITY REQUIREMENTS AS PER MIAMI 21 SECTION 3.13.1

WEST ELEVATION
 SECONDARY FRONTAGE



ART+TEC
 DEVELOPMENT

MIXED USE BLDG
 SW PORTION OF NW 120 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL



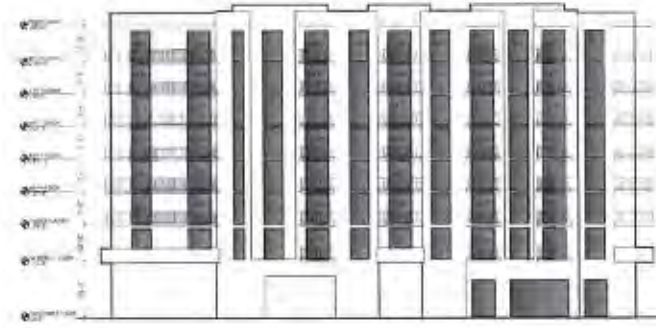
RECEIVED
 MIAMI DADE COUNTY
 PLANNING AND ZONING DEPARTMENT
 DATE: SEP 20 2021
 BY: LHM

FINAL APPROVED PLANS



BUILDING WALLS
 FACING STREETS: 49,490 SF
 GLAZING WINDOW
 AND DOOR: 8,541 SF

**NORTH ELEVATION
 PRINCIPAL FRONTAGE**
 SCALE: 1/8" = 1'-0"



BUILDING WALLS
 FACING STREETS: 12,880 SF
 GLAZING WINDOW
 AND DOOR: 4,278 SF

**EAST ELEVATION
 PRINCIPAL FRONTAGE**
 SCALE: 1/8" = 1'-0"

PERCENTAGE OF GLASS

NORTH SIDE		EAST SIDE	
BUILDING WALLS FACING STREETS: 49,490 SF	BUILDING WALLS FACING STREETS: 12,880 SF	GLAZING WINDOW AND DOOR: 8,541 SF	GLAZING WINDOW AND DOOR: 4,278 SF
PERCENTAGE OF GLASS: 17.27%	PERCENTAGE OF GLASS: 33.22%		



MIXED USE BLDG
 SW PORTION OF NW 130 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI, FL

DATE: 09/20/21	SCALE: AS SHOWN
PROJECT: 20-0000000000000000	CLIENT: CAVARIIS NORTH

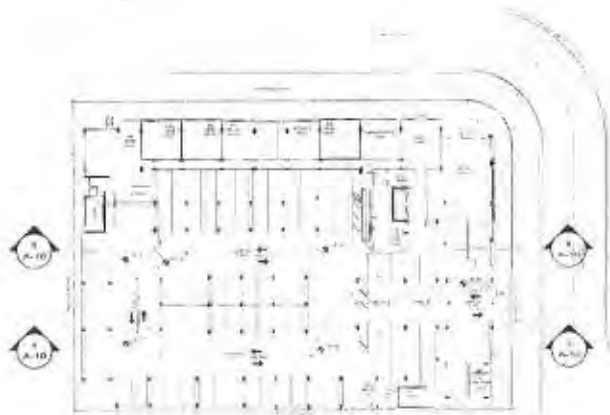
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
DRAWN BY: [Signature]	DATE: 09/20/21



A-9.4

RECEIVED
MIAMI-DADE COUNTY
PROJECT NO. A21-009
DATE: SEP 30 2021
BY: LNN

FINAL APPROVED PLANS



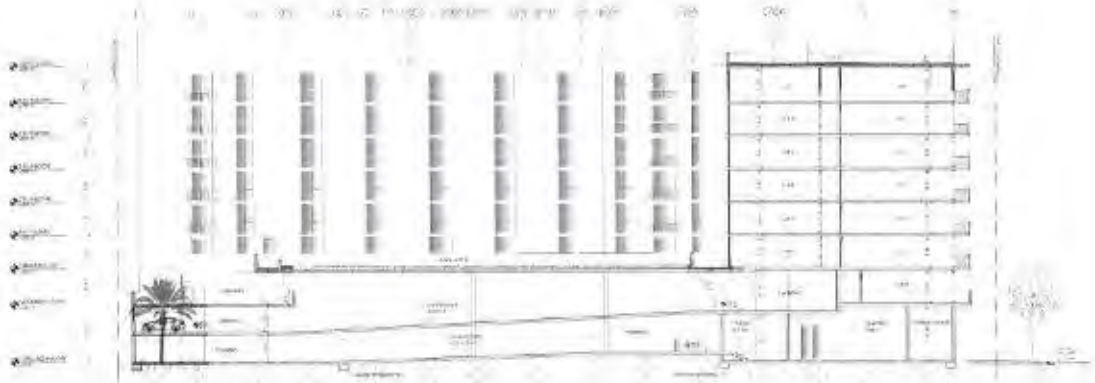
VEHICLE CIRCULATION
GROUND FLOOR
SCALE 1/8"=1'-0"



VEHICLE CIRCULATION
SECOND FLOOR
SCALE 1/8"=1'-0"



SECTION A-A
SCALE 1/8"=1'-0"



SECTION B-B
SCALE 1/8"=1'-0"



ART-TEC
DEVELOPMENT

MIXED USE BLDG
SW PORTION OF NW 120 TH TERRACE AND
NW 27 TH PLACE INTERSECTION, MIAMI FL

SITE PLAN APPROVAL

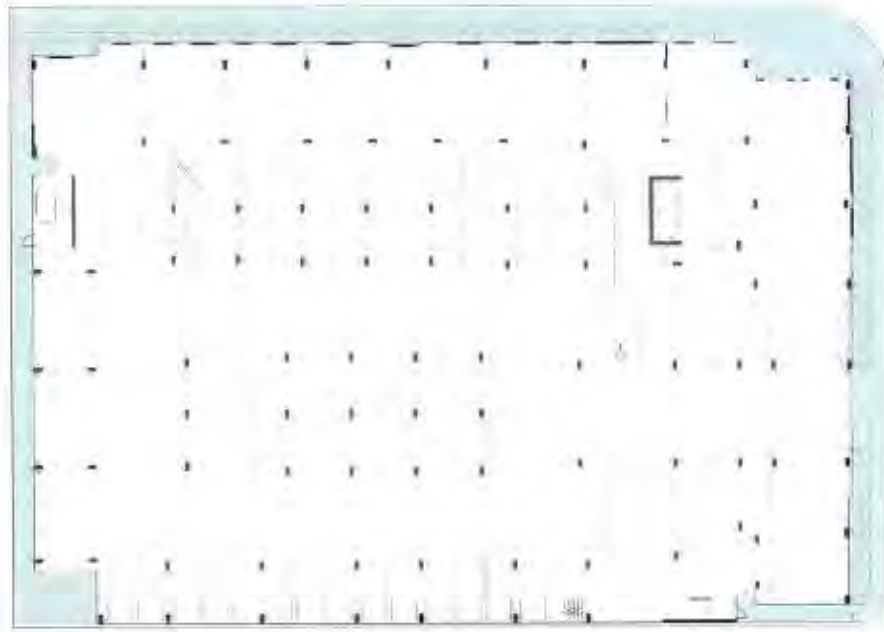


A-10

RECEIVED

MIAMI-DADE COUNTY
PROCESSING ACTIVITY
DATE: 12/30/2023
BY: LHM

FINAL APPROVED PLANS



OPEN SPACE 

LEGEND



OPEN SPACE ON EACH LOT THERE SHALL BE PROVIDED AN OPEN SPACE EQUAL TO A MINIMUM OF FORTY (40) PERCENT OF THE TOTAL LOT AREA. SAID OPEN SPACE SHALL BE UNENCUMBERED WITH ANY STRUCTURE OR OFF-STREET PARKING, AND SHALL BE LANDSCAPED AND WELL MAINTAINED WITH GRASS, TREES, AND SHrubbery, EXCEPTING ONLY AREAS USED AS PEDESTRIAN WALKS AND INGRESS AND EGRESS DRIVES PROVIDED THAT SUCH DRIVES SHALL NOT EXCEED THE MINIMUM WIDTH REQUIRED TO SERVE THE PARKING AREA.



MIXED USE BLDG
SW PORTION OF NW 120 TH TERRACE AND
NW 27 TH PLACE INTERSECTION, MIAMI FL

Table with 2 columns and 2 rows, likely a revision or schedule table.

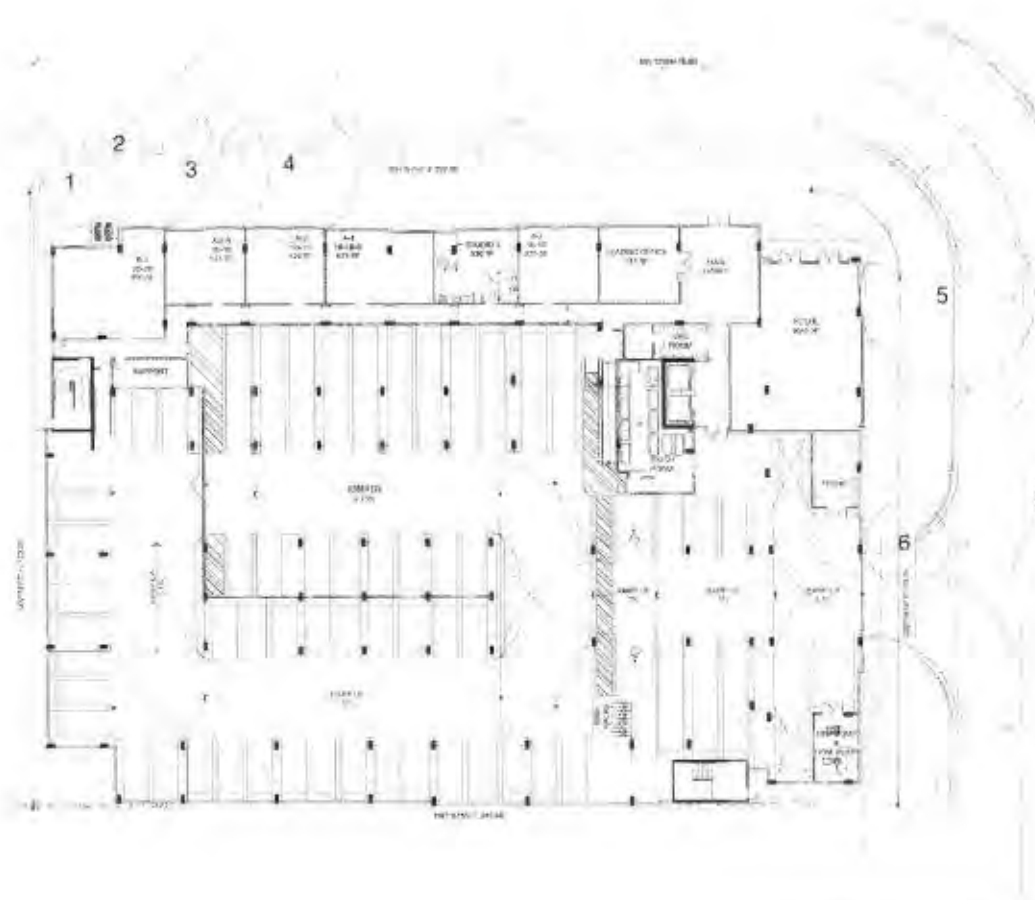
Professional seal and signature area for the architect or engineer, including a circular seal with the word 'ARCHITECT' and a signature.

G011

OPEN SPACE

RECEIVED
 MIAMI DADE COUNTY
 PROCESS NO. 2017-009
 DATE SEP 20 2017
 BY: J. B. J.

FINAL APPROVED PLANS



landscape legend

#	Name	tbl	sq'	quantity
1	Albizia lebrunii	8	20	15
2	Albizia lebrunii	24	60	50
3	Albizia lebrunii	24	60	50
4	Albizia lebrunii	10	25	40
5	Albizia lebrunii	10	25	40
6	Albizia lebrunii	4	10	24

existing trees to be removed are west of zone 1 and do not require replanting

EXISTING TREE DISPOSITION PLAN



DATE: 09/20/17



MIXED USE BLDG
 SW PORTION OF NW 130 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL



PROJECT NO. 17-009
 SHEET NO. L-1.0

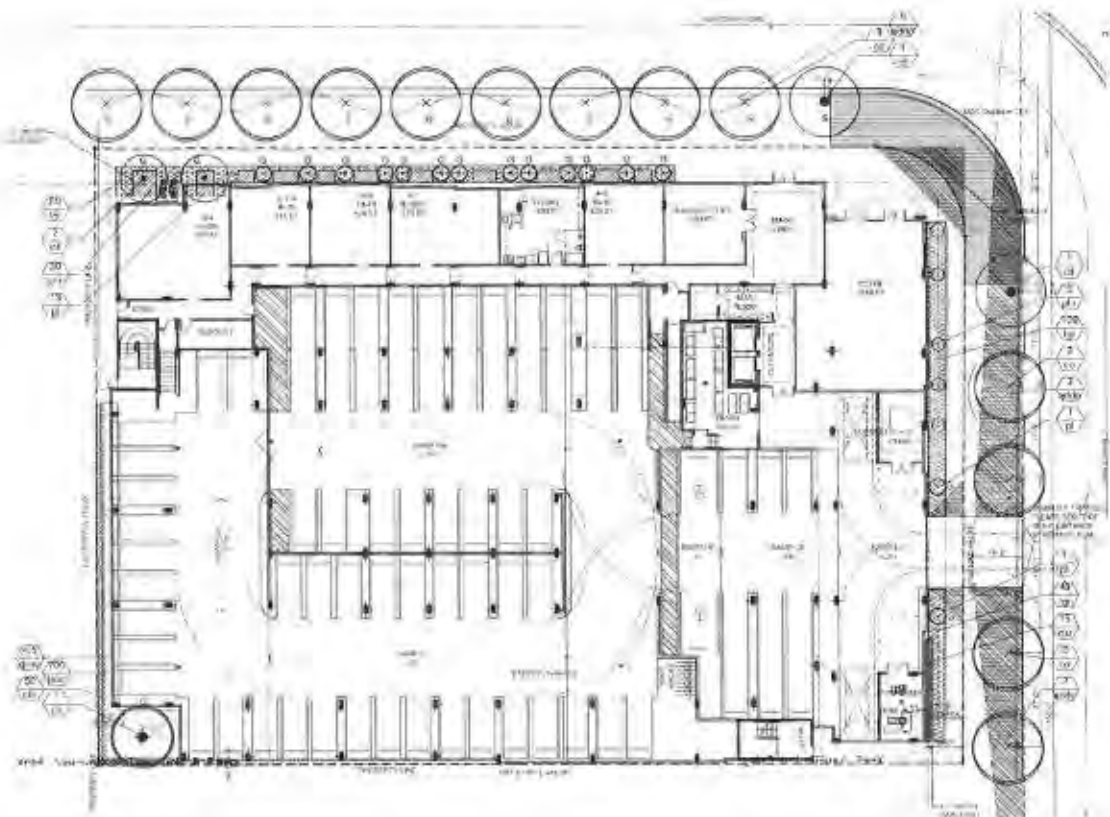


William
 A. Eager

L-1.0

RECEIVED
 HENRY DADE COUNTY
 PROJECT NO. 2011-005
 DATE: SEP 30, 2011
 BY: LHM

FINAL APPROVED PLANS



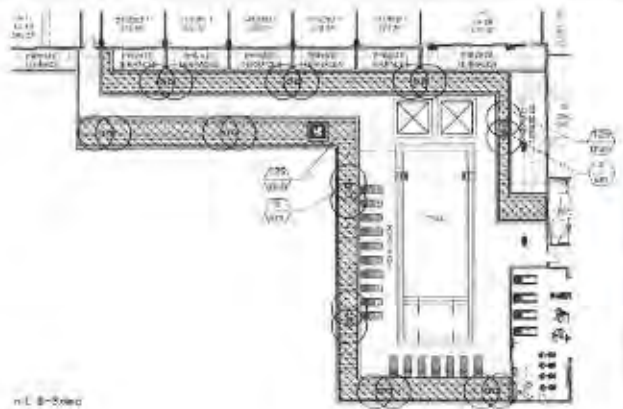
GROUND FLOOR PLANTING PLAN
 SCALE: 1/8" = 1'-0"

tree key

- G General Canopy Tree
- S Small Tree

fdot note

Notes to be used with the FDOT sign schedule in spaces where lighting is not provided 1" and 1/2" trees shall be spaced at 27' o.c. or greater. Based on a design speed of 35 mph.



LEVEL 3 PLANTING PLAN
 SCALE: 1/8" = 1'-0"



ART+TEC DEVELOPMENT

MIXED USE BLDG
 SW PORTION OF NW 120 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL



William A. Logan
 Professional Engineer
 No. 12,345

L-2.0

FINAL APPROVED PLANS

plant specifications

- Landscape Contractor shall be familiar w/ all work required by these drawings. This shall include all grading plans and detail sheets indicating depths of all plantings on the pool deck. If these sheets are not included, contact General Contractor. Drawings may not be part of the Landscape set and may be from another discipline.
- All plant material furnished by the Landscape Contractor unless otherwise specified in Grades and Standards for Nursery Plants, current edition, by the Florida Department of Agriculture and Consumer Services Division of the Plant Industry, shall be Florida Grade #1 or better.
- All shrubs and groundcovers shall be guaranteed for 1 year from date of final acceptance. All trees and palms shall be guaranteed for 1 year from date of final acceptance.
- Planting soil shall be weed free and consist of 60% clean #100 sand, 30% everglades muck and 10% Canadian peat. All plants shall be installed with planting soil as indicated on details.
- Landscape Contractor shall take all steps required to make all planting beds weed and grass free prior to planting. All plant beds to be treated with a pre-emergent approved by Landscape Architect.
- Landscape Contractor shall locate and verify all underground utilities prior to digging.
- All trees shall be staked and/or guyed in a good workmanlike manner as per attached details. No nail staking permitted.
- Any wire guys and/or fabric straps shall be tagged w/ fluorescent colored tape as shown in details.
- All trees shall be fertilized at installation w/ "Agrilem Plus", 21 gram size, w/ a 20-10-5 formulation, (or approved equal) according to manufacturers recommendations.
- All other plants shall be fertilized at installation w/ "Osmocote" time release pellets (or approved equal) according to manufacturers recommendations.
- All trees and plant beds shall be mulched with a 2" layer of shredded mulch. Mulch shall not touch the tree trunk. Cover all shrub beds with a 2" layer of shredded mulch. Mulch shall not be pine or cypress.
- When quantities and/or species differ between the planting plans and plant lists, the plans shall take precedence.
- Landscape Contractor is responsible for doing a take-off of the attached plans. Plant list provided is for guidance only. Landscape Contractor, in submitting a proposal based on these plans, is responsible for all materials as noted on plans.
- Discrepancies shall be brought to the attention of the Landscape Architect.
- No changes shall be made without the prior consent of the Landscape Architect.
- Landscape Contractor is responsible for coordinating with the General Contractor or Owner any and all conditions which may affect the scope of work.
- Landscape contractor shall include in bid all materials and labor as required to complete the job as indicated on the plans and as directed by the General Contractor.
- All plant material shall meet or exceed specifications listed.
- All planted beds shall receive 100% coverage by a fully automatic irrigation system as per plans.
- Landscape Contractor shall be responsible for providing temporary watering provisions until such time as the irrigation system is operational.

plant details



tree key

- G General Canopy Tree
- S Street Tree

plant list

Qty	Sp	Item	to	sp	Qty	sp	Qty	sp	Qty
01	1	Canopy tree (G)	12	12	12	12	12	12	12
02	1	Canopy tree (S)	12	12	12	12	12	12	12
03	1	Canopy tree (G)	12	12	12	12	12	12	12
04	1	Canopy tree (S)	12	12	12	12	12	12	12
05	1	Canopy tree (G)	12	12	12	12	12	12	12
06	1	Canopy tree (S)	12	12	12	12	12	12	12

Qty	Sp	Item	to	sp	Qty	sp	Qty	sp
07	1	Canopy tree (G)	12	12	12	12	12	12
08	1	Canopy tree (S)	12	12	12	12	12	12
09	1	Canopy tree (G)	12	12	12	12	12	12
10	1	Canopy tree (S)	12	12	12	12	12	12

Qty	Sp	Item	to	sp	Qty	sp	Qty	sp
11	1	Canopy tree (G)	12	12	12	12	12	12
12	1	Canopy tree (S)	12	12	12	12	12	12

landscape legend

Item	Required	Proposed
1. 10' x 10' concrete pad	1	1
2. 10' x 10' concrete pad	1	1
3. 10' x 10' concrete pad	1	1
4. 10' x 10' concrete pad	1	1
5. 10' x 10' concrete pad	1	1
6. 10' x 10' concrete pad	1	1
7. 10' x 10' concrete pad	1	1
8. 10' x 10' concrete pad	1	1
9. 10' x 10' concrete pad	1	1
10. 10' x 10' concrete pad	1	1
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12. 10' x 10' concrete pad	1	1
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80. 10' x 10' concrete pad	1	1
81. 10' x 10' concrete pad	1	1
82. 10' x 10' concrete pad	1	1
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84. 10' x 10' concrete pad	1	1
85. 10' x 10' concrete pad	1	1
86. 10' x 10' concrete pad	1	1
87. 10' x 10' concrete pad	1	1
88. 10' x 10' concrete pad	1	1
89. 10' x 10' concrete pad	1	1
90. 10' x 10' concrete pad	1	1
91. 10' x 10' concrete pad	1	1
92. 10' x 10' concrete pad	1	1
93. 10' x 10' concrete pad	1	1
94. 10' x 10' concrete pad	1	1
95. 10' x 10' concrete pad	1	1
96. 10' x 10' concrete pad	1	1
97. 10' x 10' concrete pad	1	1
98. 10' x 10' concrete pad	1	1
99. 10' x 10' concrete pad	1	1
100. 10' x 10' concrete pad	1	1

representative plant photos



PLANT SPECIFICATIONS



MIXED USE BLDG
 SW PORTION OF NW 130 TH TERRACE AND
 NW 27 TH PLACE INTERSECTION, MIAMI FL

William A Eager

RECEIVED
MASSACHUSETTS DEPARTMENT OF
PROCESSED BY PERMITS
DATE SEP 27 2017
BY LINDA



PERMIT INDEX FOR VOLUME

Legal description, refer to location

Lot, Block, Subdivision

Development Name, Nature of Building

Location as indicated on N.P.S. (100000A 500, 1) (Plan, Sheet 1)

This work complies with the following regulations unless being performed for the above referenced purposes, at the time of our last visit, with the requirements of Ordinance 98-127. Landscaping, retention walls, retaining walls, and foundation walls of buildings and other structures shall be constructed in accordance with the approved plans approved by Planning and Zoning Commission and the State of Massachusetts. All structures, excavations, and other work shall comply with requirements of the Massachusetts Building Code, unless otherwise specified.

1. This work complies with all applicable State and Federal laws, rules, regulations, and orders.

William A. Esger, MHA

William
A Esger

STATE OF MASSACHUSETTS
COUNTY OF WORCESTER

This document contains information that is confidential under the provisions of the Freedom of Information Act (FOIA) and the Massachusetts Information Access Act (MIAA). It is intended for the use of the recipient and is not to be disseminated to the public.

Information reported and filed with the State of Massachusetts, 2017. In the State and Name as recorded in the public records of the State.

MA Commission Expires: 9/28/18

